

**NEW CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH (GA# 07-22)
CAPE MAY COUNTY BOARD of CHOSEN FREEHOLDERS
Addendum #2 – COVER PAGE
June 30, 2011**

Bid Package Clarifications and Changes

Addendum #2 dated June 30, 2011, for the **New Cape May County Library, Stone Harbor Branch** shall be included as part of the Contract Bid Documents. Addendum #2 shall supplement and clarify the current Contract Bid Documents. Addendum #2 consists of the following:

1. This Cover Page. **(1 page)**
2. Addendum #2, items 1 – 6 **(2 pages)**.
3. Memo from Kent Schellinger, Assistant County Engineer, dated 06-23-11 **(6 pages)**.
4. Site Drawings SP-1 thru SP-8 with the latest revision dated 06-23-11 **(8 full size drawings)**
5. Plumbing Drawings P-1, P-2 and P-5 with the latest revision dated June 13, 2011 **(3 full size drawings)**

ADDENDUM #2 CONSISTS OF (9 - 8 ½ x 11 Pages and 11 - full size drawings). PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM BY SIGNING BELOW AND FAXING BACK IMMEDIATELY TO (609) 465-1418. THIS IS MANDATORY!! IF YOU ARE NOT BIDDING THIS PROJECT, WRITE "NO BID" AND FAX BACK CONFIRMATION.

.....
Signature

.....
Company

**NEW CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH (GA# 07-22)
CAPE MAY COUNTY BOARD of CHOSEN FREEHOLDERS
Addendum #2
June 30, 2011**

Bid Package Clarifications and Changes

Addendum #2 dated June 30, 2011, for the **New Cape May County Library, Stone Harbor Branch** shall be included as part of the Contract Bid Documents. Addendum #2 shall supplement and clarify the current Contract Bid Documents.

1. The Bid Due date has been changed to **Tuesday, July 19, 2011**. Therefore, Sealed bids will be received by the Cape May County Board of Chosen Freeholders, 4 Moore Road, Cape May Court House, New Jersey until **Tuesday, July 19, 2011 at 2:00 P.M.** and will be publicly open and read immediately thereafter, at said place, for One Lump Sum Contract for the **New Cape May County Library, Stone Harbor Branch, 95th Street & Beach, Stone Harbor, NJ 08247**.

The new Deadline for questions date is Tuesday, July 5, 2011 and Addendum #3, if necessary, will be issued on Thursday, July 7, 2011.

2. Specification Section 09300 TILE, Page 09300 – 2, Article 1.5- Products shall be clarified as follows: Item B. Sizes and Thicknesses shall NOT be used on this project. Item E. FLOOR TILE: Daltile Products Brancacci Ceramic 12 x 12 Field Tile shall be used at all ceramic floor tile locations. Item F. WALL TILE: Daltile Products Brancacci Ceramic, 1. Field 1: 6 x 6 (above border), 2. Field 2: 9x12 (below border) and 3. Border: 2x2 Mosaic shall be used at all ceramic wall tile locations. To further clarify, the wall pattern shall be as follows: 9x12 wall tile (installed horizontally from finished floor to approximately 3'-0" above finished floor), 2 x 2 mosaic wall tile (border installed from approximately 3'-0" to 3'-6" above finished floor), 6 x 6 wall tile (installed from approximately 3'-6" above finished floor to 6" minimum above finished ceiling height). Item G. Trim and Shapes, Cove Base shall NOT be required on this project because the specified tile is not available in cove base. Coordinating bull-nose tile shall be used at all corners and edges.
3. Delete all of the Site Drawings issued in the original bid package (SP-1 thru SP-8) and replace with the attached Site Drawings SP-1 thru SP-8 with the latest revision dated 06-23-11.
4. On Drawing A-31, Second Floor Toilet Room Floor pattern, note of "VCT" border should be revised to "ACT" border (Accent Ceramic Tile). Also all Accent Tile should meet the criteria in Item #2 above.
5. Delete Plumbing Drawings P-1, P-2 and P-5 in original bid package, and replace with the attached revised P-1, P-2 and P-5 Drawings with the latest revision dated June 13, 2011.

**NEW CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH**

6. Specification Section 02459, Paragraph 2.B.1 shall be revised as follows: Pile Lengths: Preliminary pile lengths have been estimated to be on the order of 21 to 31 feet below the existing grade. See geotechnical report page 9, and 10, item 15. The geotechnical report recommends that two (2) test piles be installed before the production piles are purchased in order to determine the final length of piles, see geotechnical report page 8, item 10. Two (2) test piles need to be purchased by the Contractor that are long enough to achieve the project load requirements and establish the driving criteria. We would recommend that the two (2) test piles be a minimum of 5 feet longer than our estimated depth based on the required pile load capacity noted on the structural drawings/documents. Once the test pile program is completed, the final length of the remaining production piles can be determined and ordered as required.

**NEW CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH**

CAPE MAY COUNTY
DEPARTMENT of PUBLIC WORKS
Office of the COUNTY ENGINEER



DANIEL BEYEL
Freeholder

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DALE M. FOSTER
Engineer

Email: Schellingerk@Co.Cape-May.NJ.US

MEMO

Date: June 23, 2011

To: Sherri Cross-Murphy Garrison Architects

From: Kent Schellinger, Assistant County Engineer

Re: Stone Harbor Branch Library Site Addenda Revision, revised through 6/15/11

I have reviewed the Requests for Information and have issued the attached revised plan set with the following comments'

1. A proposed depressed curb has been added along the westerly side of the parking lot to protect the edge of the new pavement. Stormwater must pass over this depressed curb to discharge from the parking lot, see sheets SP-2 and SP-3.
2. Grading has been changed adjoining the exterior bathrooms to assure ADA compatibility, see sheet SP-3.
3. Some curb and sidewalk grades have been changed and additional elevations added to the plan to address new guidance on handicap ramp accessibility and clarify questions regarding depressed curb areas, see sheet SP-3.
4. The Concrete Block Paver Detail has been changed to from Uni-Lock to EP Henry Products to match the specifications, see sheet SP-6.
5. A Removable Bollard Detail has replaced the Fixed Bollard Detail, see sheet SP-6.
6. A Double Faced Handicap Parking Space Sign and Detail has been added to the plan, two are required, see sheets SP-2 and SP-6.
7. Parking lot striping and handicap space symbols have been added to the plan, see sheet SP-2.
8. Rim and invert Elevations of the leaching tank and inlet have been added to the plan, see sheet SP-2.
9. The proposed water main, domestic water service, fire service and hydrant, not in contract, have been changed at the request of the Borough of Stone Harbor, see sheet SP-2.
10. A natural gas service has been added to the plan, see sheet SP-2.
11. Existing and proposed curb and depressed curb hatch styles have been changed to improve readability, see sheets SP-2, SP-4, SP-5 and SP-7.

12. The proposed first floor elevation and the existing lot elevation are above the base flood elevation. The Contractor's surveyor must provide the elevation certificate upon completion of the building.
13. Building setbacks have been added to the plan.

The following specific Requests for Information have been addressed as follows; Letter codes have been substituted for the actual names to preserve bid confidentiality as required by County resolution.

Contractor C 6/09/11 15:03 Question 1

Question 1

Temporary Water: During the pre-bid meeting a question was asked regarding the availability of temporary water for the drilling and grouting operations related to the installation of the geothermal loop system. Will the City of Stone Harbor provide access to a fire hydrant for temporary water related to these operations, or is the general contractor solely responsible for providing the temporary water service on site? Please be advised that the instantaneous demand for water could be as high as 20-25 GPM while drilling operations are underway.

The Contractor is solely responsible for providing temporary water. I would suggest the bidder contact the Borough Water Department to confirm the terms and conditions of water use. The test wells and geothermal pilot well contractor utilized the hydrant at 96th and First Avenue for their operations. I do not know the particulars of that arrangement.

Contractor A 6/09/11 15:23

Question 1.

Please provide a clear site plan of the proposed improvements showing the location of the proposed building (properly aligned), parking areas, street, etc. Isn't such required by Statue?

Offsets from the Northerly and Easterly property lines to the new building have been added to Sheet SP-2. SP2, and SP4 have been redrafted with new hatch patterns, line weight and darkened to improve readability of the existing curb, proposed curb and proposed depressed curb.

Question 2

Specification Section 02870 states that the total number of bike racks is one. The site drawings (which are unclear and confusing) might show more. Please clarify.

There are five bike racks. Due to the limitation of space these are not multi bike racks. The bike racks are shown on Sheet SP2 and the detail is on SP6.

Contractor B 6/9/11 15:30

Question 4.

No thickness is shown for the concrete pavers on sheet SP 6 of 8, please clarify?

SP-4 Has been revised to indicate a 4 inch thick DGA subbase under the concrete base for all concrete paver areas. SP 6 has been revised as a result of another question to indicate EP Henry Pavers. The Pavers have been changed from Uni-lock to EP Henry as noted on the legend. These pavers only come in one thickness 2 3/8 inches.

Question 5.

Please provide an invert for the Nyloplast drains?

SP2, SP3, and SP5 now show rim and pipe inverts for the drainage system.

Question 6.

Please provide inverts at the Leaching Pit, top and bottom

SP2, SP3, and SP5 now show rim and pipe inverts for the leaching pit top, pipe invert and sump elevation.

Question 8

Please provide a detail for the bollard?

SP 6 Had a fixed bollard detail. This has been replaced with a removable bollard detail.

Contractor E submitted via Sherri Cross Murphy, Garrison Architects email.

Contractor E 6/09/11 15:37

Question 5.

The drawings (SP2 of SP8) list "Unilok": as the interlocking paving stone, but EP Henry is listed in the specification. Is there an approved equal for the Uni-lock product?

The specification and site plan detail were taken from the Sea Isle Branch Library bid to simplify LEED approval and for uniformity between County facilities. The specification will remain EP Henry and the site plan detail sheet (SP6 of SP8) has been changed to EP Henry pavers. SP2, SP4 and SP5 legends have been changed to EP Henry Products.

Contractor A 6/10/11 8:32

Question 1

Please email or forward a clear copy of site drawing SP-2. From the drawing provided and purchased by us from the County is unclear.(sic) From the key for depressed curb, it appears that the designer is showing depressed curb behind the barrier curb along the roadway, and that much of the site is enclosed by barrier curb. A clear drawing showing limits and items labeled is requested.

Sheet SP-2 has been reissued to provide more readable hatching and lines to delimit curbs and depressed curbs. Sheet SP 3 shows the edge of pavement and top of curb elevations. Where they are the same the curb is flush with the pavement. Please note some grading is changed in the revised plans and additional spot elevations have been added for clarity. I would remind the bidders to make a site visit prior to bidding as required by the documents. Sheet SP-7 notes that there is a concrete wall to remain in place along the notherly boundary of the site.

Question 2

The site drawings lack information on specifically where the building is to be exactly located. There are not(sic) surveying controls and references to tie the proposed location. Please provide, or make allowance for surveying for the project.

Two side yard setbacks from the northerly property line to the northerly wall of the proposed building have been added to Sheet SP2. These setbacks are equal, indicating the building is to be parallel with this property line. A rear yard setback of 13 feet from the easterly property line to the northeasterly corner of the proposed building has been added to sheet SP2. An Elevation benchmark and control point coordinates will be provided to the successful bidder's surveyor. No survey stakeout will be provided by the Owner.

Contractor A 6/10/11 10:44 a.m.

Question 1

Is the leaching tank to be filled with 1.5-2" diameter stone?

A twelve inch layer of No. 57 Stone has been added around and beneath the Leaching Tank Detail on Sheet SP 6. The tank is not filled with stone.

Question 2

Drawing SP 2 shows a 2" meter pit for a 2" water service by Stone Harbor. Drawing P-1 shows that service is a 2.5" service. Please clarify what is required for the domestic water service.

Sheet SP-2, at the request of Stone Harbor Borough, shows the water service to be provided will be 2 inch.

Question 3

The limits of proposed curb is unclear. Is any of the curb by the mulch islands and lower entrance curb being replaced, or is constructed new? (re dwg SP2, SP5)

Sheets SP-2, and SP-4 have been revised to improve readability. The hatch types and colors representing existing curb to remain, proposed curbs, and proposed depressed curbs have been updated to make them more readable. The grading plan, SP2, shows the pavement and top of curb elevations to clarify the reveal of the proposed curbs. A proposed depressed curb has been added along the westerly side of the parking lot to protect the edge of the new pavement.

Question 4

Is the site gas work by others?

Sheet SP2, SP3 and SP5 have been revised to show a new gas service extending from the existing main on the south side of 95th Street to the public bathroom area of the new building. The utility supply question should be routed to the Mechanical Engineer.

Contractor A 6/10/11 14:35

Question 1

Please verify the site drawing scale as being 1" =10FT. (especially drawing SP2). Note that the plotted scale on drawing SP7 is not to scale, and although the sheet states that the scale is 1"=10FT, the plotted scale approximates 1"=12.5FT. As the drawings are inaccurate and/or not to an accurate,(sic) please provide quantities for all site work for this project.

The Existing Site Drawing SP-1 is 1 inch = 20 feet. SP-2, SP-3, SP-4 , SP-5 and SP-7 are 1 inch = 10 feet. The bars scales added to the plan were incorrectly scaled and have been corrected. Only the bar scales, not

the actual drawings, were out of scale. The contractor is responsible for all estimation and measurements of quantity.

Question 2

What is the thickness of DGABC required below the concrete base for the pavers?

Sheet SP-4 Has been revised to indicate a 4 inch thick DGA subbase under the concrete base for all paver areas. The Concrete Paver Detail on SP-6 has been revised to show a 4 inch thick DGA subbase under the concrete base for all paver areas.

Question 3

The site drawings do not show any work for two site specifications – 02740 for pavement lines and markings and 02890 for traffic and parking signs. Unless otherwise clarified, we will assume that there are not required.

Sheet SP-5 has been revised to show parking lot lines, signs and markings. This work is part of the contract.

Sheet SP-6 has been revised; a handicap parking sign detail has been added. Two double faced signs are required.

Contractor D 6/13/11 8:34

Question 1

The civil drawings appear to be scaled incorrectly or an error occurred during reproduction. The scale indicates they should be 1"=10', however they really appear to be 1"=8'. Please advise how to proceed.

The Existing Site Drawing SP-1 is 1 inch = 20 feet. SP-2, SP-3, SP-4, SP-5 and SP-7 are 1 inch = 10 feet. The bars scales added to the plan were incorrectly scaled and have been corrected. Only the bar scales, not the actual drawings, were out of scale. The bar scales have been corrected.

Contractor A 6/13/11 18:52

Question 2

Utility specified on Site Drawing SP-5 of SP8 and Drawing E-14 doesn't match. Please clarify. Also lot(s) of conduits go the same pole.

SP-2, SP-3 and SP-5 all show utility information. There are four conduits shown on the plan leading to the single pole at the southwest corner of First Avenue and 95th Street. One conduit is electric One conduit is telephone. One conduit is reserved for future CATV/Data, the fourth is a spare. Borough Ordinance prohibits new poles so all of these conduits have been routed to this location. Please note these sheet have also been updated to reflect changes requested by the Borough Water Department. A gas service was added to the plan. Storm drain elevations have also been added to these plans.

Question 3 Please reissue SP5 of SP8 as legends are not clearly printed.

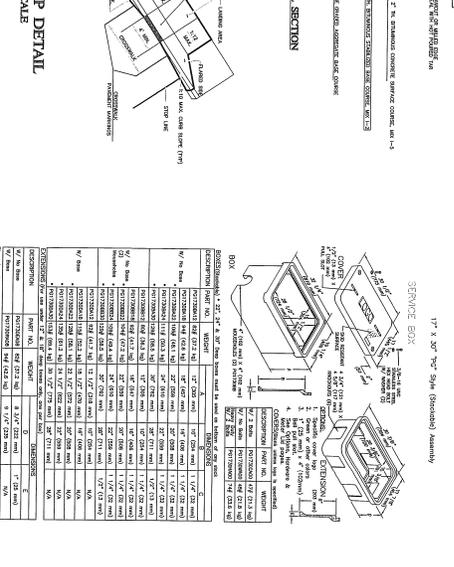
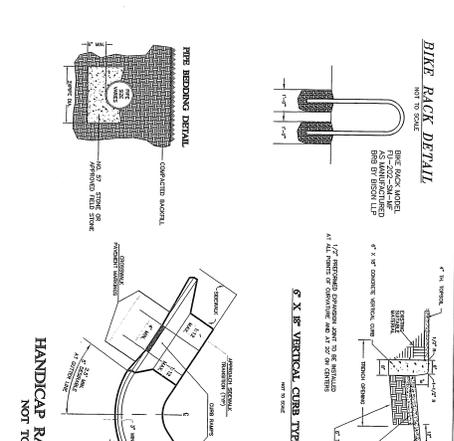
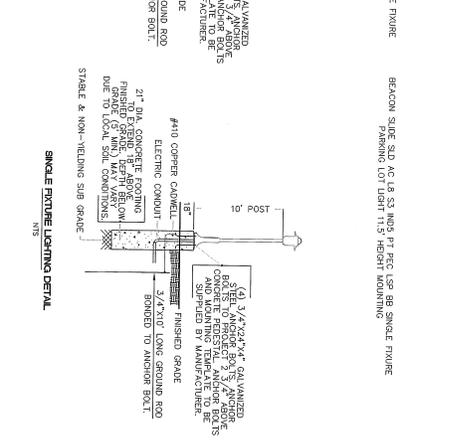
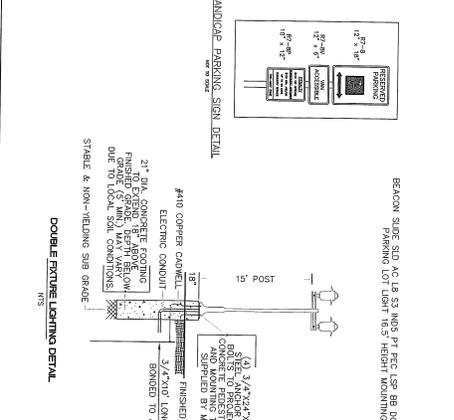
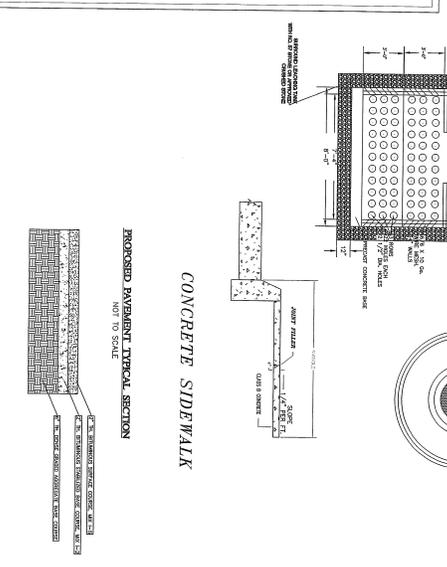
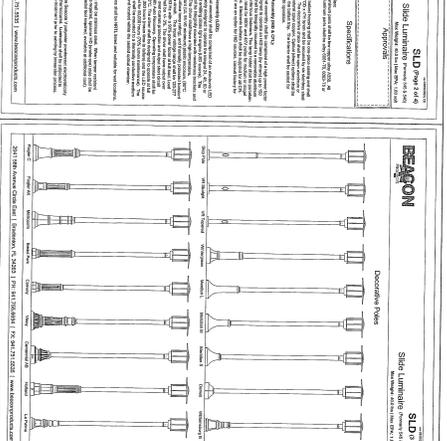
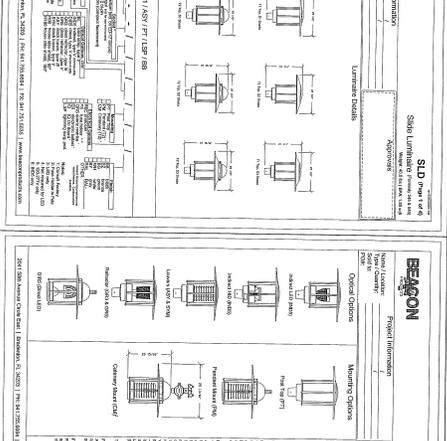
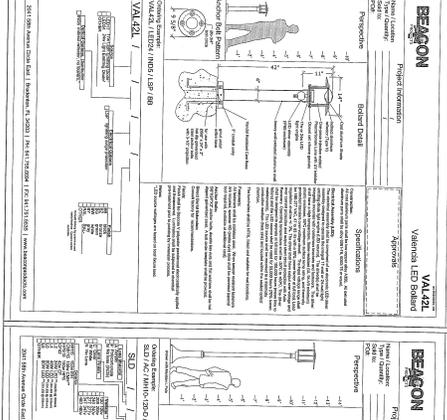
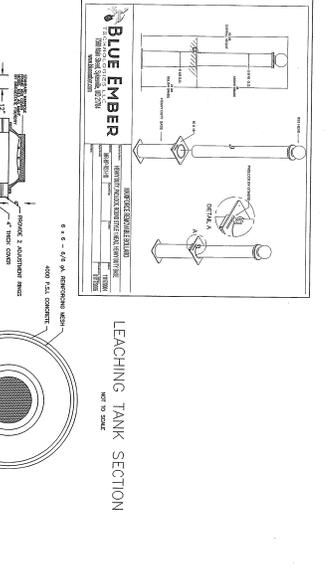
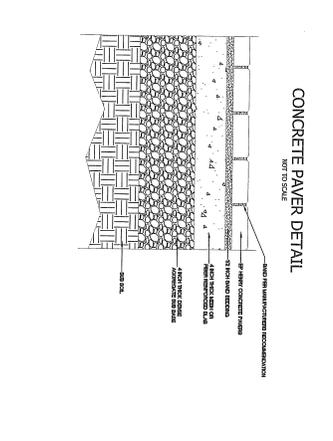
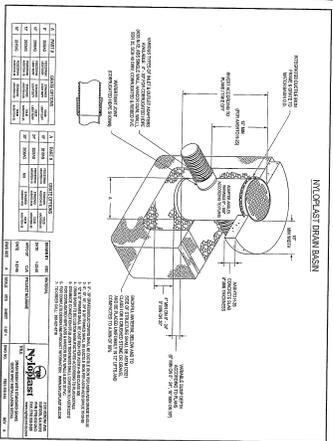
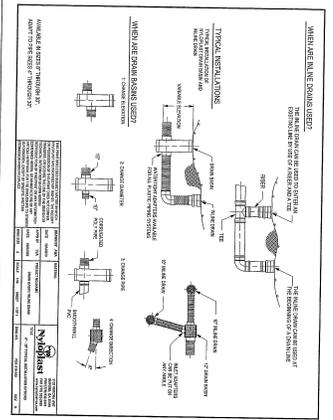
Sheets SP-2, SP4, and SP5 have been redrafted with new hatch patterns, line weight and darkened shades to improve readability of the existing curb, proposed curb and proposed depressed curb.

Contractor A 6/16/11 11:40

Question 1

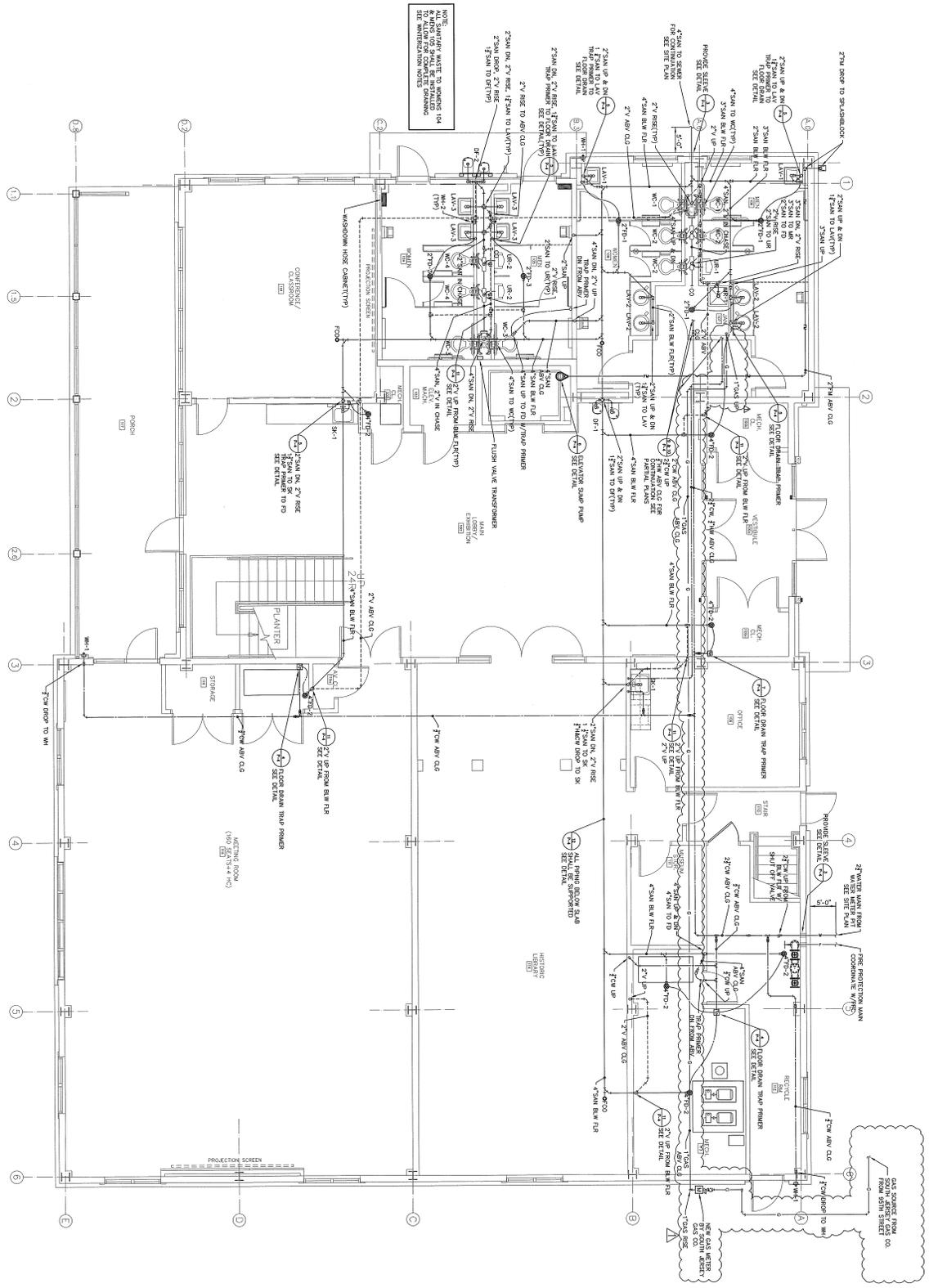
Relative to the requirement to provide builders risk and flood insurance coverage on the reference project, and as the site drawings do not depict flood areas, our carrier has requested that a flood insurance certificate be provided for the building site location. Please provide ASAP, or consider changing the specification as to have the County provide such coverage.

The topography shown on sheet SP-1, and the proposed elevation shown on Sheet SP-3 reflect survey elevations in the FIRM Map datum. The site in question is in Zone A7 where the flood elevation is 10. The elevations on the site vary from 8.8 to 11.2 feet with the proposed building footprint above elevation 10. The Contractor's Surveyor will be responsible to supply any required documentation or flood insurance certificate and the Contractor will be responsible for all specified insurance.



NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1	CONCRETE SIDEWALK	SQ. YD.	100	1.50	150.00
2	CONCRETE PAVES	SQ. YD.	200	2.00	400.00
3	BIKE RACK	EA.	5	20.00	100.00
4	HANDICAP RAMP	SQ. YD.	50	3.00	150.00
5	BEACON LIGHTING FIXTURES	EA.	10	100.00	1000.00
6	CONCRETE LEACHING TANKS	EA.	5	200.00	1000.00
7	CONCRETE SIDEWALK CURB	LINEAL FT.	100	1.00	100.00
8	CONCRETE SIDEWALK	SQ. YD.	100	1.50	150.00
9	CONCRETE PAVES	SQ. YD.	200	2.00	400.00
10	BIKE RACK	EA.	5	20.00	100.00
11	HANDICAP RAMP	SQ. YD.	50	3.00	150.00
12	BEACON LIGHTING FIXTURES	EA.	10	100.00	1000.00
13	CONCRETE LEACHING TANKS	EA.	5	200.00	1000.00
14	CONCRETE SIDEWALK CURB	LINEAL FT.	100	1.00	100.00
15	CONCRETE SIDEWALK	SQ. YD.	100	1.50	150.00
16	CONCRETE PAVES	SQ. YD.	200	2.00	400.00
17	BIKE RACK	EA.	5	20.00	100.00
18	HANDICAP RAMP	SQ. YD.	50	3.00	150.00
19	BEACON LIGHTING FIXTURES	EA.	10	100.00	1000.00
20	CONCRETE LEACHING TANKS	EA.	5	200.00	1000.00
21	CONCRETE SIDEWALK CURB	LINEAL FT.	100	1.00	100.00
22	CONCRETE SIDEWALK	SQ. YD.	100	1.50	150.00
23	CONCRETE PAVES	SQ. YD.	200	2.00	400.00
24	BIKE RACK	EA.	5	20.00	100.00
25	HANDICAP RAMP	SQ. YD.	50	3.00	150.00
26	BEACON LIGHTING FIXTURES	EA.	10	100.00	1000.00
27	CONCRETE LEACHING TANKS	EA.	5	200.00	1000.00
28	CONCRETE SIDEWALK CURB	LINEAL FT.	100	1.00	100.00
29	CONCRETE SIDEWALK	SQ. YD.	100	1.50	150.00
30	CONCRETE PAVES	SQ. YD.	200	2.00	400.00

ADDENDUM NO. 1 UPDATE
 ADDENDUM NO. 2 UPDATE
 06/13/11 KWS
 09/23/11 KWS
 CAPE MAY COUNTY LIBRARY
 STONE HARBOR BRANCH
 95TH STREET & BEACH
 STONE HARBOR, NEW JERSEY 08247
 SITED FOR BID 05-09-11
 DALE M. FOSTER
 COUNTY ENGINEER
 OFFICE OF THE COUNTY ENGINEER



NOTE:
 ALL SANITARY WASTE TO WORKING 144
 TO ALLOW FOR COALESCENT OILING
 SEE INTERSECTION NOTES

ISSUED FOR BID: 05-09-11

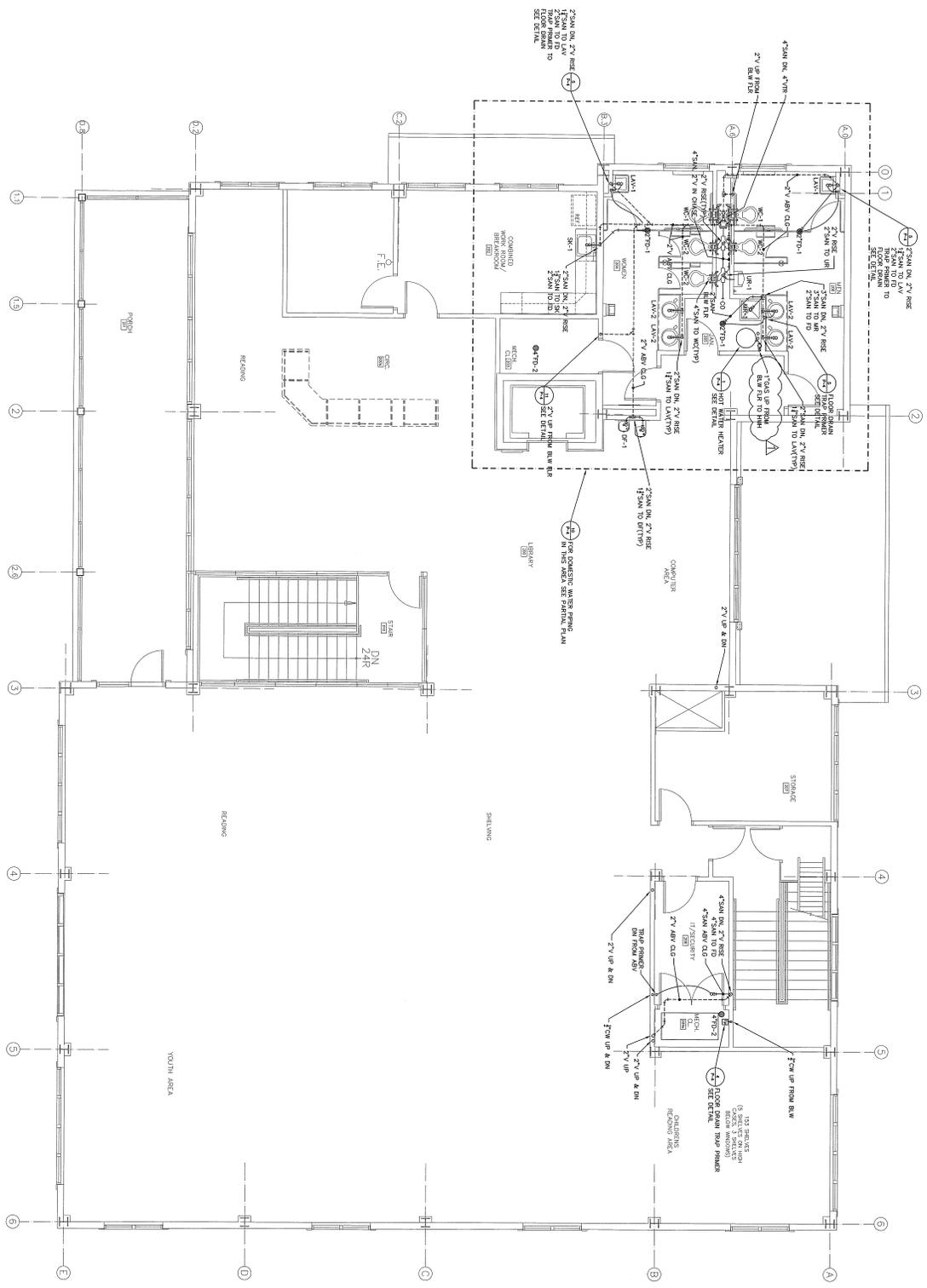
DAE
 Concord Asset Engineers, Inc.
 1000 Route 138, Suite 200
 Atlantic City, NJ 08401
 609-426-1111
 www.dae.com

REVISIONS
a. Amend
b.
c.
d.
e.
f.

Project No: 07-22
 Date: 05-08-11
 Scale: AS SHOWN
 8th FLOOR
 PLAN
P-1

**CAPE MAY COUNTY LIBRARY
 STONE HARBOR BRANCH**
 95TH STREET & BEACH
 STONE HARBOR, NEW JERSEY 08247

Garrison Architects
 A Professional Corporation of Architects and Planners
 14000 F Commerce Parkway Mount Laurel, New Jersey 08054 (888) 805-6516



ISSUED FOR BID: 05-09-11

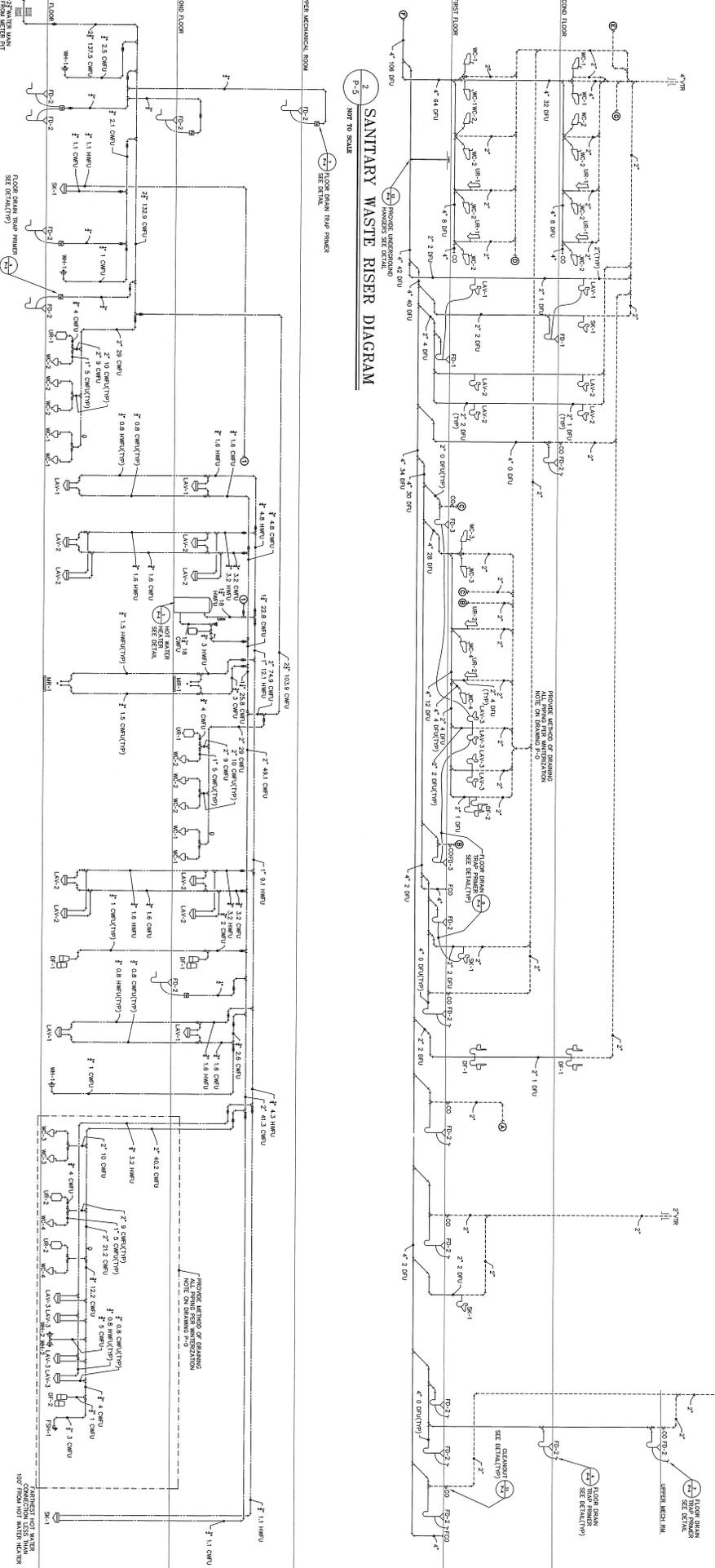
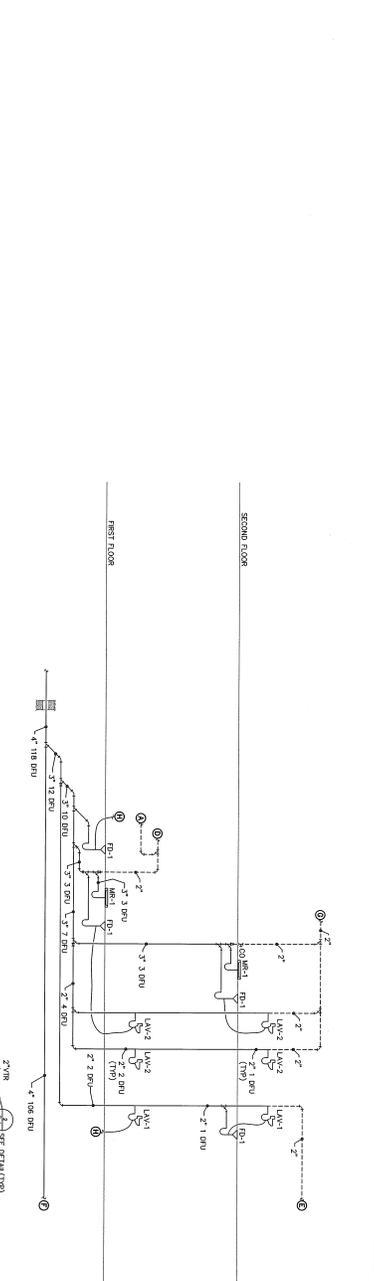
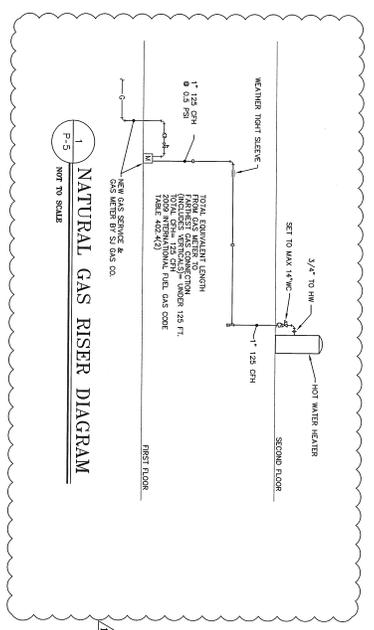
CAE
 Coastal Design Equipment, Inc.
 1000 Highway 101, Suite 100
 Cape May, NJ 08204
 Phone: 856-885-1111
 Fax: 856-885-1112
 Email: info@cae.com

Project No: 07-22
 Date: 07-21-11
 Scale: 1/8" = 1'-0"
PULLING
2ND FLOOR
PLAN
P-2

REVISIONS	Q. Awarded
1	
2	
3	
4	
5	
6	
7	

CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH
 98TH STREET & BEACH
 STONE HARBOR, NEW JERSEY 08247

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 1400 F COMMERCIAL PARKWAY SUITE 1000 LAUREL, NEW JERSEY 08054 (856) 825-5516



REVISIONS

1	a
2	b
3	c
4	d
5	e

CAPE MAY COUNTY LIBRARY
STONE HARBOR BRANCH
 95TH STREET & BEACH
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P-5
 PROJECT NO. 07-22
 DATE: 05-03-11
 P. LINDING
 RISING
 DIAGRAMS

ISSUED FOR BID, 05-09-11